



WALL FENCE, CURB CUT, DRIVEWAY EXPANSION CHECKLIST DIAGRAM

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

PROJECT ADDRESS:	APPLICATION NO.:	DATE:
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INFORMATION REQUIRED FOR (1) FENCE, (2) CURB CUTS, (3) DRIVEWAY EXPANSIONS, (4) CIRCULAR DRIVEWAYS

- Show location of your driveway and your neighbor’s driveway. Show dimensions to nearest curb cuts.
- Specify locations and dimensions of all existing building and structures on the lot.
- Specify location and dimension width of proposed curb cut.
- Show existing driveway width and area. AND, show proposed “NEW” driveway expansion width and “NEW total driveway area.”
- Show and provide “NEW” total landscape area, demonstrating 50% required front landscape area is maintained.
- For fences/walls, show “EXISTING” and “NEW” fences/walls.

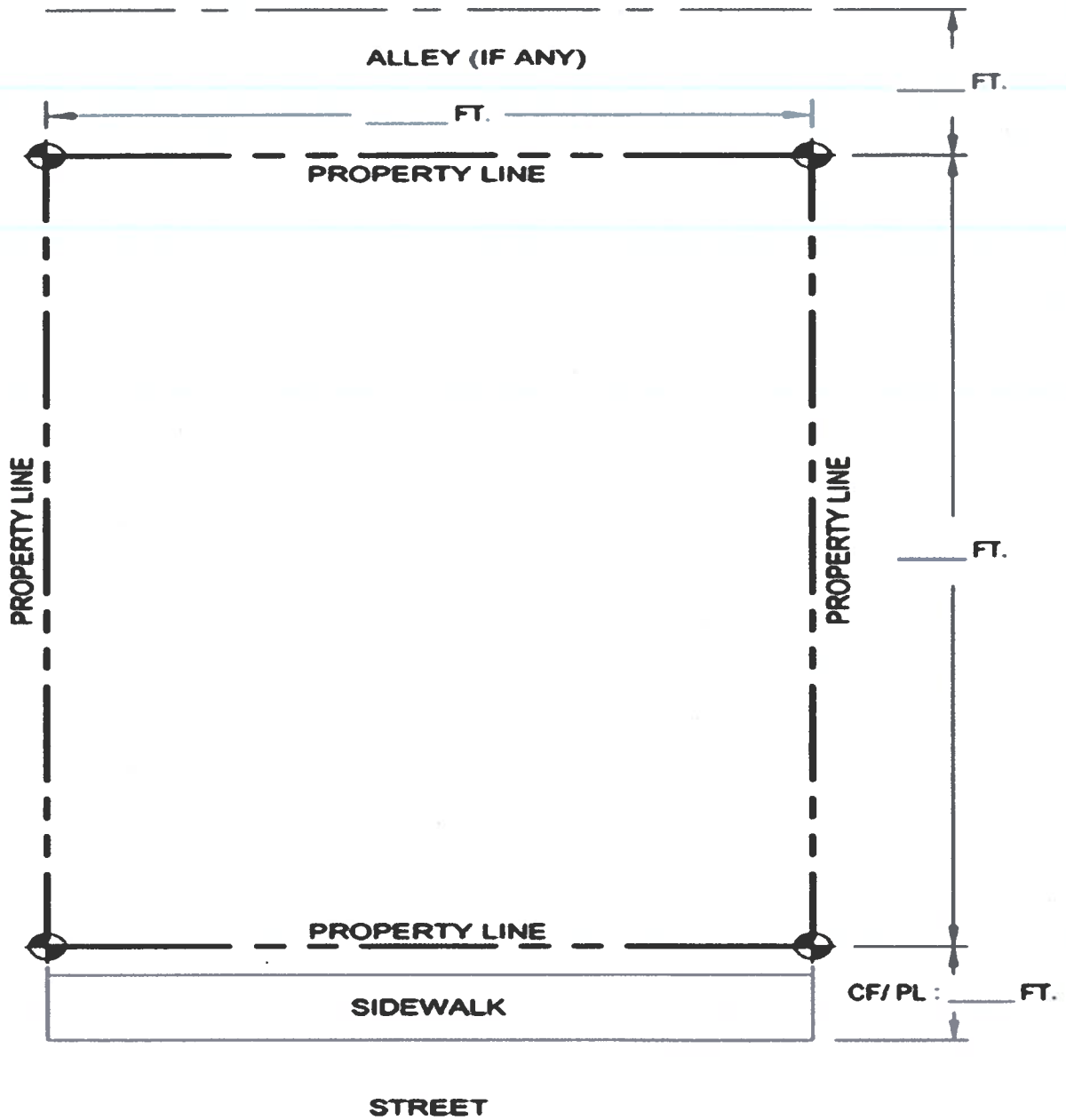
NOTES:

1. **For a Fence/wall approval**, a completed “Common Property Line Wall/Fence Agreement” form signed by all of the common property owners shall be submitted prior to Planning’s approval or permit issuance for fence walls proposed on the common property lines.
2. **For driveway expansion**, Planning Approval required.
3. **For new circular driveway**, Planning and Public Works approval required.
4. **When your property DOES NOT have a parkway or sidewalk** (also referred to as a Public Right-of-Way) in front of your property, you must contact the Department of Public Works and confirm whether you have a Public Right-of-Way (PROW) Dedication (dedicated city-owned property for future PROW development) and obtain the PROW width to determine where your front property line is. A lot survey by a registered land surveyor may be required to verify where your property boundary lines are for the proper placement of a fence/wall.
5. **For new curb cuts on public property (PROW)**, Public Works and Planning review required in the following cases:
 - a. **Line-of-Sight Visibility Verification** required to determine whether existing or proposed fence/walls obstruct pedestrian and vehicular visibility in the prowl.
 - b. Planning Division reviews and verifies **50% landscape requirement** within the front setback area is maintained. Once determined where your “Front setback” is, your front setback area is measured from the front property line, 25 feet inward. This area **MUST BE LANDSCAPED**.
 - c. Public Works reviews, approves and issues **Encroachment Permits for any work conducted in the PROW**. Contact Public Works for further information at (626) 384-5481.
6. It is the responsibility of the property owner and/or the contractor to **contact Dig Alert (Call 811)** and confirm whether there are any existing underground utilities **BEFORE YOU DIG**. Any proposed work shall not destroy or unreasonably interfere with any access or utility easement belonging to others and located on this property. In the event such work may destroy or unreasonable interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided.



**Know what's below.
Call 811 before you dig.**

PLEASE ILLUSTRATE NEATLY AND COMPLETE IN ITS ENTIRETY



CF/PL = Curb Face to Property Line

FOR OFFICE USE ONLY				
Zone:	Fence Height:	Corner Cut-off Req.		
Type of Fence:	<input type="checkbox"/> Wood <input type="checkbox"/> Block <input type="checkbox"/> Wrought Iron <input type="checkbox"/> Combination <input type="checkbox"/> Other:			
Setbacks:	Front:	Side:	Street-Side:	Rear:
ZONING L REQ: YES _____ NO _____		BLDG PERMIT REQ: YES _____ NO _____		
PUBLIC WORKS – ENROACHMENT PERMIT REQ: YES _____ NO _____				



COMMON WALL NEIGHBOR AGREEMENT

Community Development Department – Planning Division

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Date: _____

Application No. _____

Project Address: _____

Property Owner (Applicant) Name: _____

Mailing Address: _____

To permit the construction of a common wall, the CITY OF COVINA, requires consent from all affected property owners. The undersigned owners agree to place the common wall(s) between their adjoining properties.

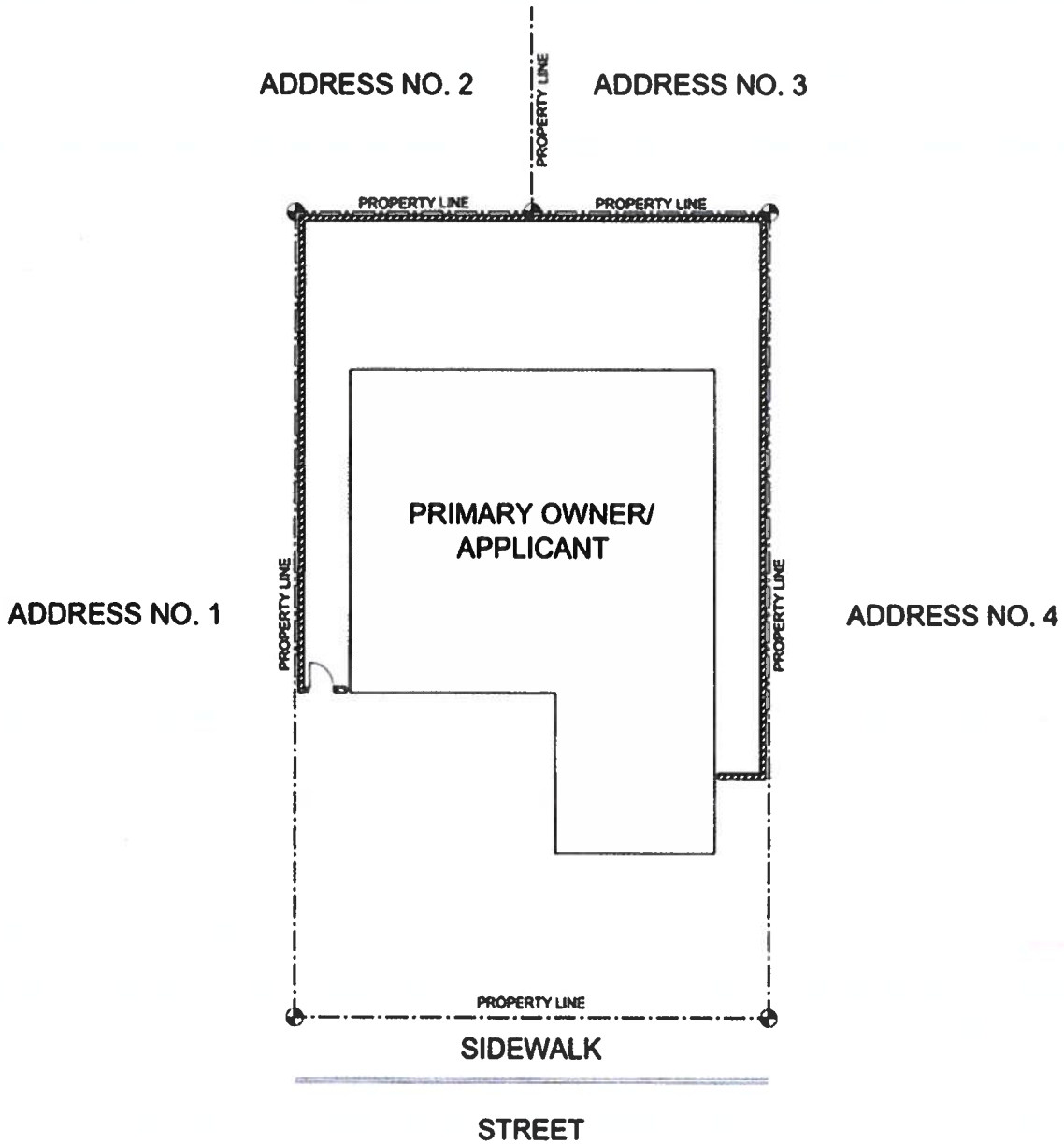
NOTE TO PROPERTY OWNERS: If the property owner cannot obtain the neighboring property consent on the proposed location of the common wall/fence, the property owner (applicant) must provide a Land Survey prepared by a Licensed Professional Surveyor or Civil Engineer, accurately depicting property boundary lines, existing underground utilities, and show proposed location of fence/wall, including footings, completely within their property.

Additionally, per Covina Municipal Code (CMC) 17.71.150, a building permit is also required for all fences and walls regardless of height and location. The building permit is issued by the city building official. For Planning information, contact (626) 384-5454. For Building Permit information, contact Building & Safety at (626) 384-5476.

Address No. 1		
Property Owner Name (Print)		
Property Address		
Property Owner Signature		Date:
Address No. 2		
Property Owner Name (Print)		
Property Address		
Property Owner Signature		Date:
Address No. 3		
Property Owner Name (Print)		
Property Address		
Property Owner Signature		Date:
Address No. 4		
Property Owner Name (Print)		
Property Address		
Property Owner Signature		Date:

Signature of Primary Applicant:		Date:
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SAMPLE FENCE OR CURB CUT DIAGRAM OR PLOT PLAN





Standard Application Form – (Minor)

Community Development Department – Planning Division

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Use this form for minor Residential and Non-Residential Applications. Submit form and all other information to Planning-submittal@covinaca.gov. Refer to Checklists for Site Plan Reviews A, B, C, and D on our handouts page.

Applicant Information

Proposed Project:		STAFF USE ONLY
Project Address:		
Assessor's Parcel Number:		
Phone: ()	E-Mail:	MUNIS NO:
Applicant Name:		FILE NO:
Applicant Address:		
Property Owner Name:		
Property Owner Address:		

Project Type

Please check the type of project review requested. If you are applying for more than one review you may check all that apply.

- Site Plan Review- Minor Residential Site Plan Review-Minor (Non-Residential)

(Some examples include but are not limited to: New Pool, New Shed, Wall/Fence, Room Addition, Tenant improvement etc.)

Project Description

Detailed Description of Proposed Project *(Attach Additional Sheets if Necessary)*

Owner Certification

I certify that I am presently the legal owner of the above described property. Further, I acknowledge the filing of this application and certify that all of the above information is true and correct. If applicant is different from the legal property owner, a property owner's authorization form must accompany this application.

Date: _____ Signature: _____

Print Name and Title: _____

STAFF USE ONLY

Date Received:	Received by:	Fees:	Receipt No:
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