



125 East College Street
Covina, CA, 91723
P) 626-384-5460
Building@covinaca.gov
www.covinaca.gov

BLOCK WALL & FENCES

Handout #18

BUILDING PERMITS REQUIRED

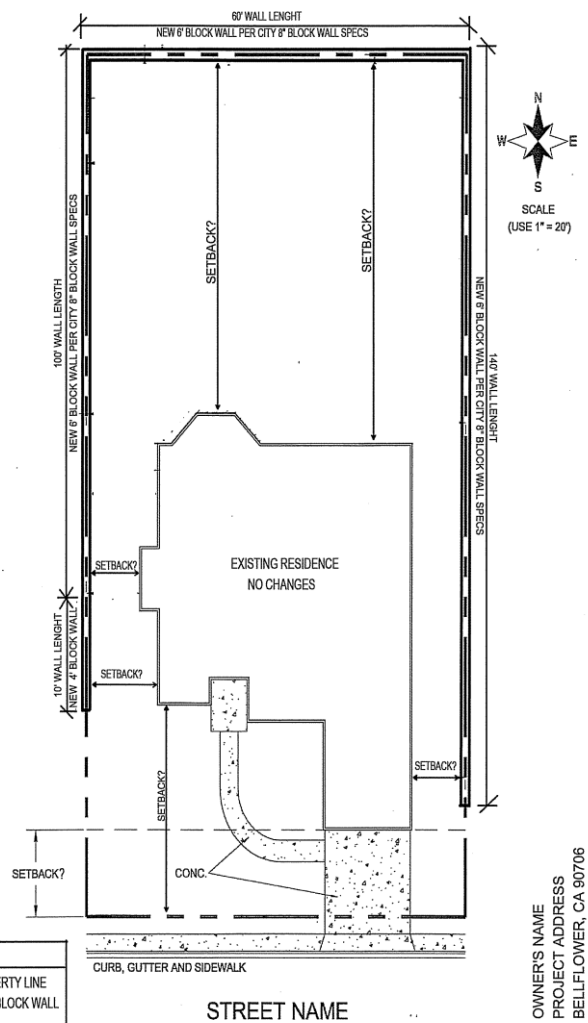
The purpose of this informational handout is to assist owners and builders who may choose to erect a simple free-standing block wall using a standard detail or fence. The information presented provides general requirements and specifications for the construction of standard CMU block walls of various height, thickness, or footing configurations. These details represent “average” or “typical” conditions that may not be suitable in all cases. When projects deviate from the information presented in this handout or the Building Code, a California Registered Design Professional should be consulted. To obtain complete information for your project, please contact our friendly staff in person or over the phone at:

Planning (626) 384-5450 or Building and Safety (626) 384-5460, during our normal business hours (Monday through Thursday from 7:00 a.m. to 6:00 p.m.).

General Requirements

- Prior to permit application; obtain **Planning and Engineering Division review and approvals.**
- A fully **dimensioned plot plan is required** that clearly shows all heights, lineal footage, type of proposed block material to be used, fences and setbacks to existing buildings and property lines. **Any portion of wall visible from any public street shall be decorative block or stucco to match residence. (HANDOUT #15)**
- Consent form completed by all parties
- A site survey shall be prepared by a California State licensed land surveyor or civil engineer to verify that the proposed wall or fence is entirely on the subject property.
- **A Building permit is required for all masonry block and retaining walls, wood, wrought iron or similar fence requires building permit.** Regardless of permit requirements, Planning Division review and approvals are required including the preparation of a plot plan, elevations, and specifications of material, size, and color.

Sample Plot Plan Handout #15



**CITY OF COVINA PROPERTY OWNERS AGREEMENT
FOR SHARED BLOCK WALL/FENCING**

The undersigned herein consents to the building of a block wall/fencing on specified location as shown on attached plot plan.

The undersigned herein states that he/she is in lawful possession or control of the property designated below, or has the authority to act in the owner(s) behalf in their absence.

CONSENTING PARTIES

Property owner #1 _____

Mailing address _____

Rear Yard _____ LF Side Yard _____ LF (see plot plan below for project proposal)

Copy of Grand Deed _____ Copy of property Tax Bill _____ Other ID _____

Signature _____ Date _____

Property owner #2 _____

Mailing address _____

Rear Yard _____ LF Side Yard _____ LF (see plot plan below for project proposal)

Copy of Grand Deed _____ Copy of property Tax Bill _____ Other ID _____

Signature _____ Date _____

Property owner #3 _____

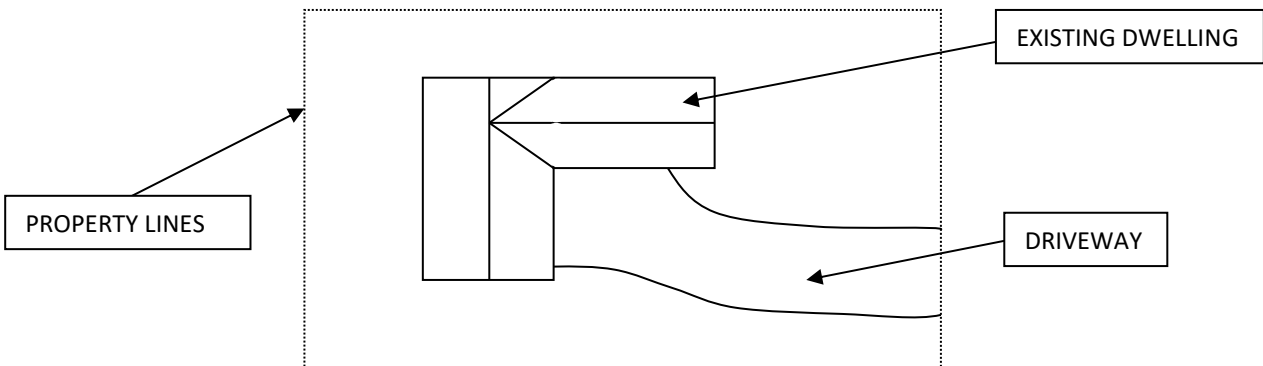
Mailing address _____

Rear Yard _____ LF Side Yard _____ LF (see plot plan below for project proposal)

Copy of Grand Deed _____ Copy of property Tax Bill _____ Other ID _____

Signature _____ Date _____

INDICATE PROPOSED FENCE LOCATION FOR PROPERTY #1 ON PLOT PLAN BELOW





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GENERAL REQUIREMENTS – 2025 CALIFORNIA BUILDING CODE

Horizontal bond beam reinforcement is required to be located in the second course from the top of the wall. Prefabricated joint reinforcement in each 2 top mortar joints consisting of two No. 9 gauge galvanized wires with No. 9 gauge steel welded cross wires spaced maximum 16 inches on center may be substituted for the top horizontal bond beam reinforcement in walls 5 ft 6 inches or less in height. The wires shall be thoroughly embedded in the bed joint mortar. Lap all wires 12 inches minimum. Maintain 3 inch minimum clearance for all horizontal and vertical reinforcement from the bottom and sides of the footing trench. Units shall be staggered and masonry walls may be partially grouted with grout confined to those cells which have horizontal and vertical reinforcing steel. When solid grouting is not provided for the entire wall, a masonry screed shall be provided below the bond beam and horizontal reinforcement to prevent grout penetration into the rest of the cells and allow full grouting

Materials Specifications

- **Concrete:** Minimum 3,000 psi at 28 days
- **Grout:** Mix to be 1 part cement to 3 parts sand to max 1/10 part lime. Sufficient water should be added to produce consistency for pouring without segregation of the constituents. May contain 2 parts pea gravel (max 3/8" in size)
- **Block:** Grade "N" A.S.T.M. C90-03 (Nominal width shall be a minimum 6" block)
- **Reinforcement:** Deformed steel rebar conforming to A.S.T.M. A615 Grade 40 or higher
- **Mortar** (Type S): Mix to be 1 part cement to ½ part lime to 3 parts damp loose sand
- Required Inspections- setbacks and footings, 1st and 2nd grout lift, final

REQUIRED INSPECTION ON BLOCK WALLS OVER 6' IN HEIGHT

(When a Building Permit is issued)

- **Foundation Inspection:** When trench (footing) is ready for concrete and all steel reinforcement are tied in place. All construction materials are to be on site prior to foundation inspection approval.
- **Pre-Grout Inspection:** When first horizontal bar and all vertical bars are in place, and prior to grouting.
- **Final Inspection:** After wall is grouted and cap is installed and mortar joints are completed. All construction debris should be removed at this time.

REPAIRS / REBUILDS

- Repairs or rebuilds of existing block wall fences must fully comply with the **2025 California Building Code** and shall be constructed in accordance with this informational handout or be justified by a licensed design professional.

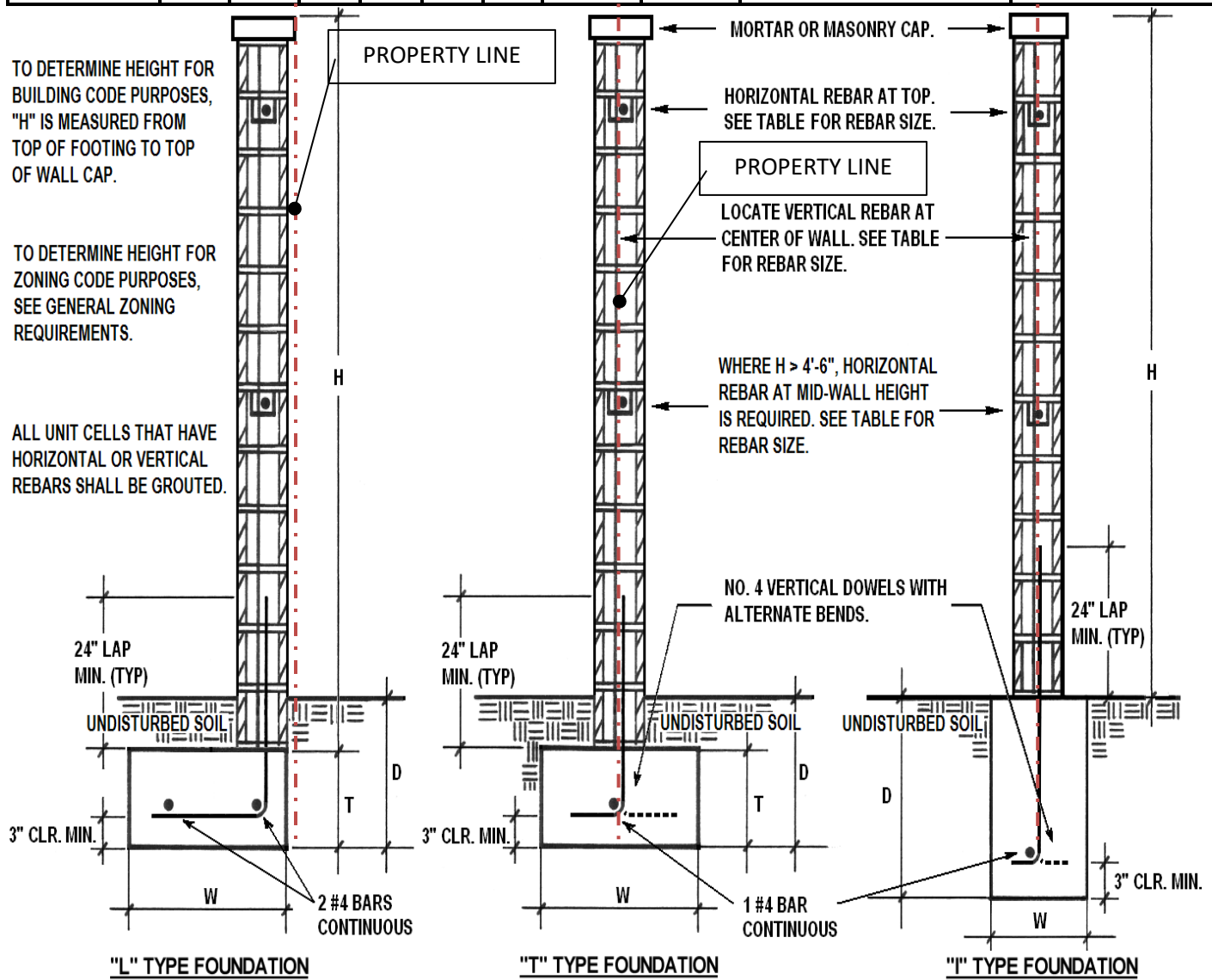
**MINIMUM REQUIREMENTS FOR 6" INCH OR 8" INCH
BLOCK WALL UP TO 6' IN HEIGHT**

| WALL HEIGHT "H" | "L" TYPE FOUNDATION | | | "T" TYPE FOUNDATION | | | "I" TYPE FOUNDATION | | VERTICAL REBAR | HORIZONTAL REBAR |
|-----------------------|------------------------|-----|-----|------------------------|-----|----|------------------------|-----|---------------------|----------------------------|
| | W | D | T | W | D | T | D | T | | |
| 3' – 6" | 18" | 18" | 9" | 14" | 12" | 6" | 12" | 22" | #4 REBAR @ 48" O.C. | # 4 Rebar |
| 4' – 6" | 18" | 18" | 9" | 18" | 12" | 6" | 12" | 26" | #4 REBAR @ 32" O.C. | #4 Rebar |
| 5' – 6" | 24" | 24" | 12" | 22" | 12" | 6" | 12" | 30" | #4 REBAR @ 48" O.C. | #4 Rebar |
| 6' – 0" | 24" | 24" | 12" | 26" | 14" | 9" | 12" | 36" | #4 REBAR @ 24" O.C. | #4 Rebar (2 at FOOTING) |

TO DETERMINE HEIGHT FOR
BUILDING CODE PURPOSES,
"H" IS MEASURED FROM
TOP OF FOOTING TO TOP
OF WALL CAP.

TO DETERMINE HEIGHT FOR
ZONING CODE PURPOSES,
SEE GENERAL ZONING
REQUIREMENTS.

ALL UNIT CELLS THAT HAVE
HORIZONTAL OR VERTICAL
REBARS SHALL BE GROUTED.

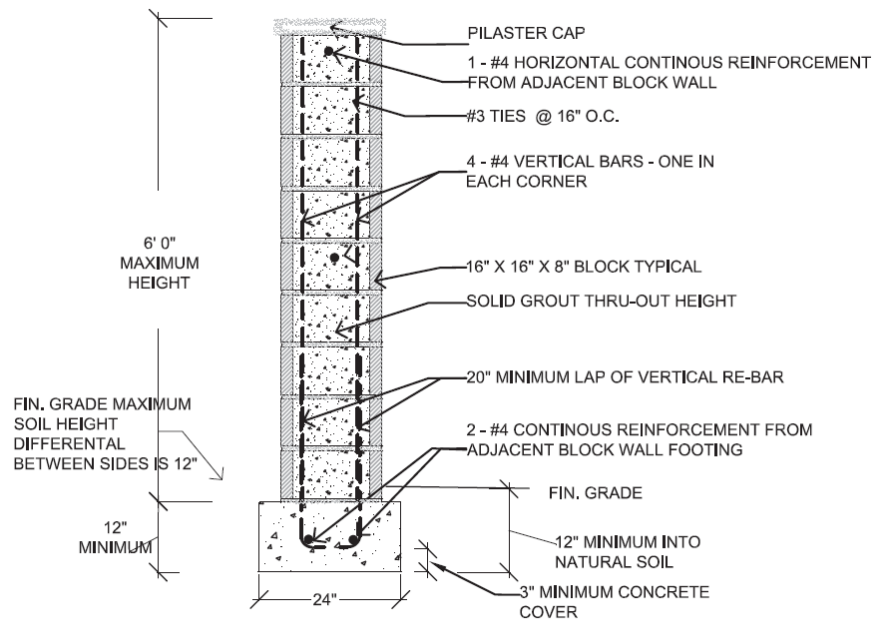




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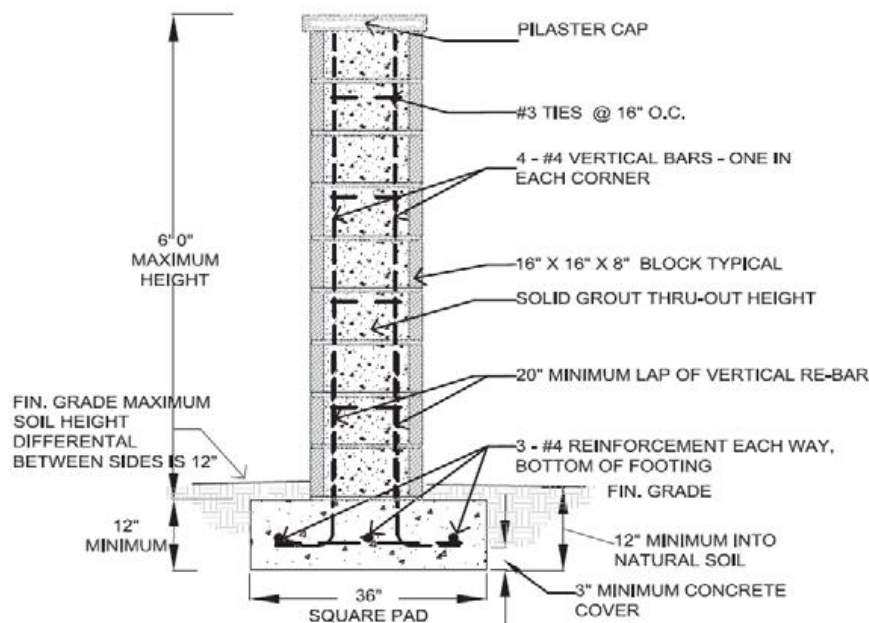
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PILASTER SECTION

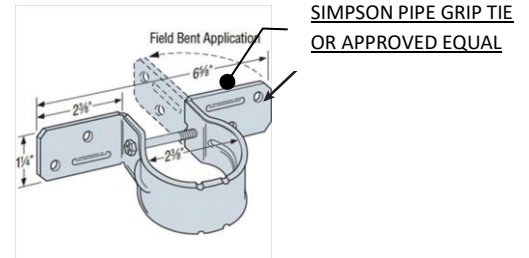
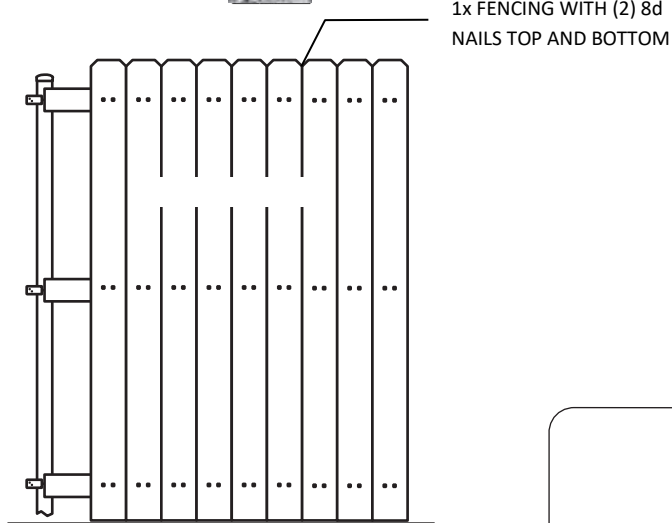
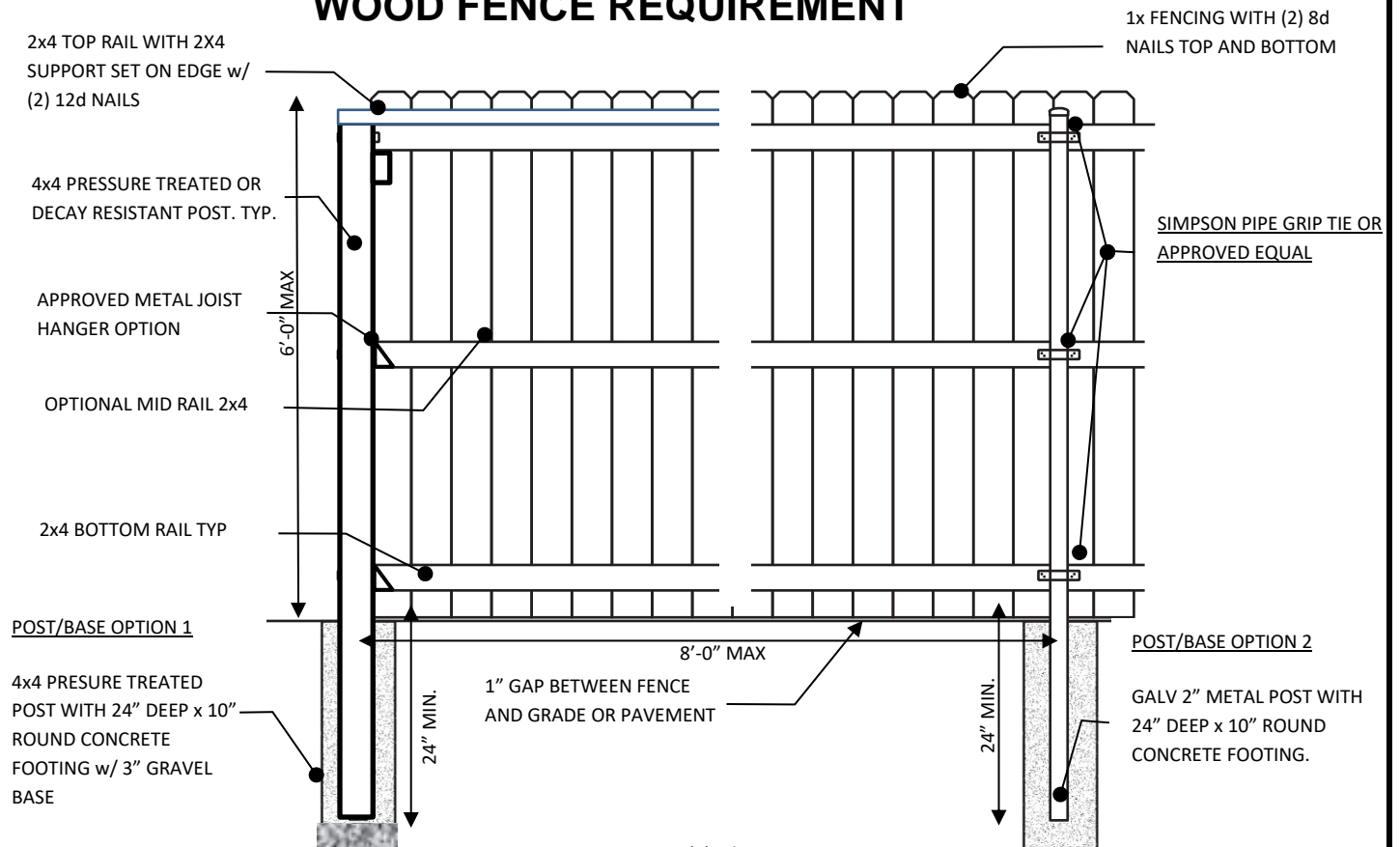
A INSTALLED IN CONJUNCTION WITH STANDARD BLOCK WALL (NOT APPROVED FOR STAND-ALONE PILASTER)



PILASTER SECTION

B. FOR STAND-ALONE PILASTER INSTALLATION

WOOD FENCE REQUIREMENT



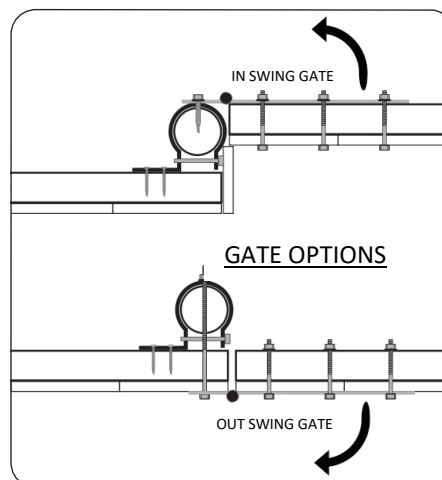
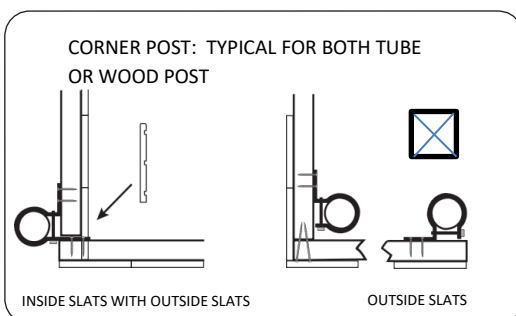
GENERAL NOTES:

POST SHALL BE PRESURSURE
TREATED OR DECAY RESISTANT
LUMBER (CEDAR OR
REDWOOD).

ALL FASTENERS SHALL BE
CORROSION RESISTANT

COMPOSITE OR VYNLE FENCES
ARE OPTIONS. INSTALLED PER
STANDARD OR MANUFACTURES
REQUIREMENTS.

OPTIONAL HORIZONTAL PICKETS WITH PLANNING APPROVAL.





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MAXIMUM OF 6 FEET IN HEIGHT

- Height is measured from the lowest adjacent grade. CMC.
- Check with the Planning Division for approval and location of fence. CMC.

The maximum spacing of 4" x 4" posts for wood fencing (solid, basketweave, picket, shadowbox, lattice top, grape stake, etc.) Shall be:

| Height of Fence | Maximum Post Spacing |
|-----------------|----------------------|
| 4ft.or less | 8 ft. on center |
| More than 4 ft | 6 ft. on center |

- Ask about special requirements for fence heights in front yards and all yards on corner lots, in other cases. All fence heights shall comply with the City Zoning Ordinance.
- Posts shall be heart redwood, heart cedar, or pressure treated wood of equal strength. Pressure treated wood shall be treated for ground contact and shall be identified by the quality mark of an inspection agency which has been accredited by an accreditation body which complies with the requirements of the American Lumber Standard Committee Treated Wood Program, or equivalent. (Fence industry 2 ½ inch o.d. SS-40 steel pipe, manufactured by Allied Tube & Conduit, or equal, may be substituted on a one-to-one basis for the wood posts galvanized schedule 40 steel pipe, rigid electrical conduit, EMT, and light gauge/standard chain link fence posts are not equivalent and cannot be substituted for the wood posts.
- Posts shall be encased in a concrete footing that is a minimum of ten (10) inches in diameter and two (2) feet in depth. Posts shall have a minimum embedment of 24 inches, (2) feet in depth over 3" of gravel (see details for alternate post base options).
- Fasteners shall be either hot-dipped zinc coated galvanized steel or stainless steel, or equivalent.
- When gates are installed, they shall be a minimum of 36 inches wide.
- A survey may be required to establish property lines.
- A fence agreement may be required if the fence is to be constructed on a common property line.
- Fences shall not retain earth or any other material.
- On street facing elevation, the finished side should face the right-of-way.

The 1st inspection is required after digging the post holes (footings), but before the post are set and the concrete is poured.

Note: If the fence is being used as, or part of, the required barrier for a swimming pool, the minimum height of the fence shall be 5 ft (60 in). The smooth, non-climbable surface must be on the side away from the swimming pool. A swimming pool is defined as any body of water or any structure that contains water over 24 inches in depth (see the swimming pool barrier handout for more detailed information).