



125 East College Street  
Covina, CA, 91723  
P) 626-384-5460  
Building@covina.gov  
www.covina.gov

# ADU PACKET SUBMITTAL REQUIREMENTS

The information in this packet provides general guidelines for the ADU and JADU submittal process for the City of Covina Planning and Building Departments. Please refer to our webpage <https://covina.gov/pc/page/accessory-dwelling-units-adu> for additional information prior to submitting for review. Accessory dwelling units (ADUs), Junior Accessory Dwelling Units (JADUs), and efficiency units are permitted on lots that are zoned to allow single-family or multi-family residential uses that include an existing or proposed dwelling.

**Note:** Review all submittal requirements carefully before starting the submittal process. Building and Safety requires more detailed construction documents than the Planning Department and may require grading details and a soils report depending on the project scope.

## **Effective 01/01/2023:**

- New submittals **MUST** comply with all 2022 California Building Codes
- ADU's 750 SF or more **MUST** pay Impact Fees prior to Certificate of Occupancy per [Ordinance No.22-06 17.69.040](#)

## **Planning Requirements:**

The first step is to submit your project to the Planning Division for review and approval. Any applications submitted to Building & Safety without a Planning Approval Clearance will be rejected and referred back to the Planning Division. "Building Permit Only" categories must still be submitted to Planning for verification of compliance before proceeding with Building & Safety. Planning also processes the covenant agreement required for all accessory dwelling units, per [Ordinance No.22-06](#), passed, approved, and adopted May 17, 2022.

**Step 1:** Review the attached [Planning ADU Requirements](#)

**Step 2:** Complete the attached [ADU Planning Application](#) and assemble a submittal package as directed in the ADU application form. Need help determining what is needed on the plans? Refer to sections 2 and 3 of the [Site Plan Review Handout](#).

**Step 3:** Submit items from Step 2 to [Planning-Submittal@covina.gov](mailto:Planning-Submittal@covina.gov)

**Review Time:** Allow 15-30 days for planning staff to make a determination and follow up with further instructions.

**Already received a Planning Approval Clearance from the Planning Division, what is the next step?** Review the "conditions of Approval" section located on your Planning Approval Clearance document. As a requirement of submittal for building plan check, the Planning approval and the approved site plan, elevation, and floor plan shall be included as part of your submittal package. Typically, these documents are located immediately after the title/cover page of the construction plans and are noted in the index on the cover page as "Conditions of Approval". See the steps below. Questions regarding Building Plan check can be inquired with the **Building & Safety Division** at 626-384-5460.

## Building and Safety Requirements:

Prior to submitting to Building and Safety for plan check please review the submittal checklist thoroughly. Any incomplete submittals will not be accepted or routed for plan check.

**Be Advised:** Check with Southern California Edison if there are any easements on the property or any power poles adjacent/ on your property to ensure the ADU/ JADU is out of the drip line.

*Under the standards of the 2022 California Building Code (CBC) and California Residential Code (CRC), Residential R (Habitable spaces or use) SHALL NOT be erected, built or encroach within the limits of the easement, due to the presence of a severe hazard – Overhead power lines.*

**Step 1:** Review the Planning Approval Clearance provided to you by your case planner and integrate the Clearance and the stamped-approved site plan, floor plan, and elevations into construction plan set. As a conditions of approval sheet.

**Step 2:** Review the Building & Safety attached [#03A Residential ADU](#), [#04 Residential Submittal Checklist](#), [Building Plan Check Webpage](#) for more information.

**Step 3:** Prepare required documents according to Steps 1 and 2, and complete the [Building Permit Application](#), complete the [IB-05 Address Request Form](#) along with a [#15 Plot Plan Handout](#) and provide homeowner information and/ or contractor, or agent information.

**Step 4:** Submit prepared items in Step 3 to the Building Safety Division for Plan check. Note Building requires hard copy submittals. For **new detached ADUs we will need 4 sets** of plans (24x36) and 2 sets each of calcs/ reports (8.5x11). For **JADU's or ADU conversions we require 3 sets** of plans (24x36) and 2 sets each of any supporting documents (8.5x11).

**Review Time:** First review takes approximately 4-6 weeks for all departments to review. If corrections are required each submittal takes 2 weeks per additional review required.

## Prior to Permit Issuance:

Prior to permit issuance there are several pre-requisite items that will need to be verified before we can release the job card and approved field set of plans

- ❑ **Covenant agreement** per [Ordinance No.22-06](#)
- ❑ **School Clearance:** fees paid to school district for adding habitable space
- ❑ **Sanitation Clearance:** Clearance from LA County Sanitation District for any additional bedrooms & bathrooms to a property [Connection Fee Application](#)
- ❑ **Environmental Forms:** BMP management and waste disposal required from City of Covina Environmental Services department
- ❑ **LA County Fire Clearance/ Water Flow Test:** May be required

## Prior to Building Final/ CofO:

Prior to receiving a Building final the following items may be required depending on your project type.

- ❑ **Solar permit and final:**
  - If solar is required, the solar plans must be submitted prior to the ADU framing inspection. The project will not be finalized/ granted occupancy until the solar permit is pulled and finalized.
- ❑ **Impact fees:**
  - Impact fees will be charged proportionally to the square footage of the primary dwelling unit for ADU's 750 SF or more. **See the ADU Impact Fees Handout for example of fee breakdown**



## ACCESSORY DWELLING UNIT REQUIREMENTS

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

### ACCESSORY DWELLING UNIT REQUIREMENTS

- Accessory dwelling units (ADUs), Junior Accessory Dwelling Units (JADUs), and efficiency units are permitted on lots that are zoned to allow single-family or multi-family residential uses that include an existing or proposed dwelling.
- All accessory dwelling units require a covenant agreement**, per Ordinance No. 22-06, passed, approved, and adopted May 17, 2022. Ordinance No. 22-06 can viewed under the “Accessory Dwelling Units link here: [22-06 adu ordinance update w design stds 2nd-story limitations.pdf \(covinaca.gov\)](#)
- ADU Design Guidelines: Per ADU Ordinance No. 22-06**, ADUs greater than 800 square feet shall comply with newly adopted ADU design standards. Refer to Covina Municipal Code Section 17.69.040.
- The accessory dwelling unit shall provide complete and independent living facilities.
- If there is an existing primary dwelling, the total floor area of an **attached** ADU shall not exceed 50% of the existing primary dwelling. For **detached** ADUs, the total floor area **shall not exceed 1,000 square feet**.
- ADU Height and Setbacks**. Maximum building height shall not exceed 16 feet in height when 4 feet from a side and rear property line. ADUs greater than 16 feet in height, (i.e. detached twostory ADUs, a second-story ADU above a garage, the addition of a second-story ADU to an existing single-story residence, the addition of an attached two-story ADU to the primary residence, or any combination thereof) shall be permitted within the primary residence "buildable area," as determined under CMC Sections 17.14 and 17.26 residential development standards.
- When a garage, carport, or covered parking structure is converted or demolished to construct an ADU, replacement parking of the lost off-street parking is no longer required.
- Other development standards, such as limits on lot coverage, floor area ratio, or open space requirements, cannot be applied to the extent they would prohibit an ADU that is at least 800 square feet and 16 feet tall, with a 4-foot rear and side yard setback.
- Single-story accessory dwelling units shall meet all the minimum 4-foot side and rear yard setback requirement. Accessory dwelling units within existing structures are not subject to additional building setbacks.
- At least one parking space for the accessory dwelling unit shall be provided if the proposed accessory dwelling unit is not within ½ mile of public transit, measured by the walking distance from the ADU to public transit, rather than using an “as-the-crow” flies” measurement. Notably, “public transit” shall include any bus stop, train station, or other location where the public can access buses, trains, subways, and other forms of public transportation.



## ACCESSORY DWELLING UNIT REQUIREMENTS

### Community Development Department – Planning Division

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- A detached ADU may be combined with a Junior Accessory Dwelling Unit (JADU) that complies with the requirements described above, such that two additional units (one detached and one attached) are allowed on the lot. Given the size limitations, this means that a property could have a 500-square-foot JADU attached to the house and an up to an 800-square foot detached ADU.
- ADUs on Sloped Lots.** Detached ADU sited within four to one or greater slopes, whether upslope or downslope, or within a High to Very High Fire Hazard Severity Zone (FHSZ) designation from Los Angeles County Fire Department, shall meet the following requirements:
  1. May encroach into the four to one (4: 1) or greater slopes by a maximum distance of 6 feet;
  2. Require Planning review and Los Angeles County Fire Department Review;
  3. Provide a minimum 10-foot fire defensive zone around the ADU (Defensible space is the buffer you create between a building on your property and the grass, trees, shrubs, or any wildland area that surround it. CALFIRE);
  4. Comply with construction requirements in the California Building Code and California Residential Code that are specific to the wildland-urban interface fire area.
  5. Roof material shall be tiles, slate or imitation thereof. Where the roof material for the main house consists of composition shingles, detached ADU can include the same material. If composition shingles are used, 40-year or higher grade architectural dimension shingles shall be used.
- Accessory Dwelling Units in Multi-family Buildings:** ADUs within the portions of an existing multifamily dwelling, in spaces not used as living space. Examples include conversion of storage rooms, boiler rooms, attics, basements, and garages. Each unit must comply with building standards. The number of ADUs that may be created in a multifamily dwelling is equal to 25% of the number of existing units, or one accessory unit, whichever is greater.
- Detached ADUs on Multi-family Lots:** Not more than two detached ADUs, on a lot with an existing multifamily dwelling. The accessory units are subject to a 16-foot height limit and must maintain at least a 4-foot rear and side yard setback. An applicant may apply to build ADUs either under *"Accessory Dwelling Units in Multi-family Buildings"* or *"Detached ADUs on Multi-family Lots "* but not both.
- Junior Accessory Dwelling Unit (JADU) and Efficiency Unit standards:**
  - JADUs are units limited to 500 square feet in size that are contained within the walls of an existing or proposed single-family residence. One JADU is allowed on a lot with a proposed or existing single-family home.
  - A JADU must have a separate entrance from the main entrance of the residence, and must include an efficiency kitchen with cooking appliances and a small food preparation and storage area.
  - In contrast to ADUs, owner occupancy of the JADU or the primary dwelling is required, unless the owner is a government agency, land trust, or housing organization.





# Administrative Site Plan Review – Single Family Residential

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450

Use this page to determine if your project requires a Site Plan “A” or “B” review. Submit pages 2 and 3 along with your plans as noted in the checklist, to [Planning-Submittal@covinaca.gov](mailto:Planning-Submittal@covinaca.gov). Please allow up to two weeks for plan review.

## 1. “A” category fee for Administrative Site Plan Review application.

This type of Site Plan Review application is for minor site and building improvements. Simple line drawings *may* be accepted. Some projects may require additional information. Field inspection *may* be required. Examples include but are not limited to:

- Reroof with same/similar materials such as asphalt shingles with asphalt shingles or tiles with tiles; or, roof reconstructions and with the same roof materials.
- Water heater replacement and enclosures.
- Window replacements at the same locations.
- Replacement of ground mounted AC-condensers (residential).
- New or replacement fire place if it is in the interior of the house.
- Single-family attached and detached covered or lattice patios less than 499 square feet.
- Fences/walls not higher than 6 feet on side and rear yards and not higher than 3 feet within the front yard set back for residential properties
- Detached gazebo *\*must also include specs for building plan check*
- Attached or detached single-story room addition for single-family house less than 499 square feet and not as guest house or second dwelling unit
- Roof mounted solar panels
- Minor reconstruction of existing improvements due to fire damage and without increase in square footage
- Mechanical equipment screening proposals for single-family residential use
- Pool and/or spa (meet setback requirements including the equipment)
- Retaining walls not higher than 3 feet
- Driveway alteration (e.g. expanding driveway width), *\*if changes to approach, must also obtain encroachment permit from Public Works*
- **“NEW” Accessory Dwelling Unit (ADU) Covenant Agreements: \$105.00 fee applied for preparation of Covenant Agreement, per Ordinance No. 22-06, passed, approved, and adopted May 17, 2022.**

## 2. “B” category Fee for Administrative Approval of Site Plan Review Application.

This type of Site Plan Review application is for minor site and building improvements. Simple line drawings are **not** accepted. Field inspections and additional information *may* be required. Examples include but are not limited to:

- Attached or detached single-story room additions for single-family house 500 square feet in one-year period and no more than 900 square feet total in a three-year period
- Second story additions to single-family house 500 square feet in on year period and no more than 900 square feet total in a three-year period
- Second story residential decks
- Roof reconstructions and with a different roof material
- Solar panels that are ground mounted for single-family house
- Exterior building modifications for single-family house: add new windows, remove existing windows, replace wall with sliding door or French door, add architectural elements or materials to building face
- Fences/walls with Minor Variance to increase the height from 6 feet to 7 feet 6 inches (side & rear yards only)
- Minor interior improvements for non-residential use that do not increase the intensity of the land use

*This page is for reference only*

## Instructions:

Submit page 2 and 3 along with detailed plans as required by this checklist.

Planning Division Site Plan Review is the first step in obtaining approval for your project. Projects that require other division approvals and/or permits may require more information after planning approval is obtained. To see project specific requirements for Building & Safety, please visit <https://covinaca.gov/cd/page/building-and-safety> for projects involving the public right of way, visit : <https://covinaca.gov/publicworks>

### SECTION 1: Filing Requirements & Fees

- Complete the Minor Application Form (page 3): ***MUST have property owner's authorization***
- Provide Digital set of plans (files smaller than 12.5mb are acceptable as PDF attachments, larger files must be sent via google link, dropbox link, or similar service). **Do NOT embed a google link**
  - Send one (1) email to [Planning-submittal@covinaca.gov](mailto:Planning-submittal@covinaca.gov) with page 2 & 3 and your plans (*see below for plan minimum requirements for a complete submittal for planning*)
- Be prepared to pay the filing fee for your review, a planner will email your invoice within two weeks after formal submittal. See current fee schedule on the City Website: <https://covinaca.gov/finance/page/city-covina-fee-schedule>

### SECTION 2: Plan Preparation Guidelines

Plans not conforming to these guidelines will not be accepted for processing. Items noted with "Single line drawing acceptable" do not apply.

- 1. All plans shall be drawn on uniform size sheets no greater than 24" by 36" in size
- 2. All plans shall be drawn to an engineering scale of 1" = 20', 1" = 30', 1" = 40', or 1" = 50' with the scale clearly labeled and with the north arrow oriented towards the top of the sheet
- 3. All plans shall be clear, legible, and accurately scaled.

### SECTION 3: Contents of Development Plans

The items listed below are considered a minimum: additional information may be necessary for clarification during the review process or if approvals from other divisions are required.

- A. Detailed Site Plan:**
  - Name, address, & phone number of the property owner, applicant and author of the plan (architect, designer engineer, etc.)
  - Site Plan must include both existing and proposed site conditions.
  - Include a Building Summary Table: show building notes, abbreviations, as well as project data that includes both existing and proposed building summary, lot coverage,( existing and new), and a vicinity map.
  - Show property lines. Property lines are called out around the exterior of the lot
  - Show setbacks. These are the spaces between a building and its property line, as well as distance between structures as measured from building footprint. Include dimensions from roof eave to roof eave.
  - Show existing and proposed conditions. Fence lines, fence material, utility and power lines must be shown.
  - Show parking. A site plan will always show parking dimensions, including parking spaces, areas for turning around, and especially in urban and high-traffic areas, the flow of traffic.
  - Show surrounding streets. A site plan will show how your property functions within the streets and avenues that surround it, or if it is at the end of a quiet cul-de-sac.
  - Show driveways, driveway apron, parkway, sidewalk, etc. on-site plan and include exact dimensions of driveways and curbs. For properties that do not have a sidewalk or parkway, there is an existing Right-of-Way (ROW) easement dedication. In these cases, contact Covina Department of Public Works at (626) 384-5483 to determine the width of the ROW dedication.
  - Include easements, which may be a feature of your property that is shared by someone else for a specific purpose. Examples include a pathway through your property to a neighborhood park, utility lines, shared driveway access, or parts of the property that are maintained by a homeowner's association.
  - Include measurement & type of landscape feature (e.g. a deciduous tree or a desert landscape) & retaining wall.
- B. Elevations:**
  - All sides of building elevations for all existing and proposed buildings & structures. (North, South, East & West elevations)
  - Label all existing and proposed building materials
- C. Floor Plan:**
  - All floors, including labels use of each room (bedroom, kitchen, game room, etc.).
  - Dimension all exterior walls, doors, windows, and room sizes.

**D. Roof Plan**

**Planning Approval is the first step towards project approval and/or permits for a project and may require an additional review period and separate submittal from other divisions after approval from Planning is obtained.**



# ACCESSORY DWELLING UNIT APPLICATION

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

## FILING REQUIREMENTS AND INSTRUCTIONS FOR ACCESSORY DWELLING UNIT APPLICATION

In order for this application to be processed without delay, the application must include all of the following materials. To ensure that your application package is complete, please check-off boxes next to the required application materials before submitting to the Planning Division.

- Review the [ADU Checklist](#) & the [ADU Frequently Asked Questions](#)
- Complete this application form
- Filing Fee \$ 421.00
- Copy of updated Deed or Title Report showing new property owners
- Site Plan, Floor Plan, and Elevations (see options below)

**Option 1: File in person at the Planning Division Counter** (2 SETS OF PLANS IN ADDITION TO ABOVE ITEMS)

Two sets of complete plans (site plan, floor plan, and elevations) of the accessory dwelling unit on 24"x36" sized paper & 1 Electronic Version on Flash Drive

**SITE PLAN (2 Copies)** The site plan shall be drawn neatly and indicate proposed and existing structures, driveway(s), building separations, setbacks, easements, public street(s), parking, aerial image showing within a ½ mile of public transit, including transit stations and bus stations, if applicable. The site plan must show all dimensions of the subject parcel and structures, and shall be submitted on paper 24" x 36"

**FLOOR PLAN (2 Copies)** Provide a fully dimensioned floor plan indicating the use of each room, including the location of the kitchen and laundry facilities.

**ELEVATIONS (2 Copies)** Provide elevations of all sides of the proposed unit. If the dwelling is a modular or panelized unit, you must submit construction plans and drawings with the application.

**Option 2: Email submittal package to [Planning-Submittal@Covinaca.gov](mailto:Planning-Submittal@Covinaca.gov)** (1 SET OF PLANS IN ADDITION TO ABOVE ITEMS)

Files smaller than 10MB are acceptable as PDF attachments. Larger files must be sent via google link, dropbox link, or similar service. **Embedded google links can crash our server and will be ignored/deleted.**

*Be advised: Approval/Clearance from the Planning Division is not a permit. However, an Approval/Clearance is required for Building Plan Check. The Building & Safety Division will reject submittals that do not possess a Planning Approval/Clearance. The Planning Division submittal requirements are less than that of a building plan check submittal. View the ADU FAQs page for more information on what to expect throughout the ADU approval and permitting process.*

| APPLICANT INFORMATION   |                  | STAFF ONLY                                   |
|---|------------------|--|
| Project Title:  |                  | ADU _____ - _____<br><br>CASE PLANNER: _____ |
| Project Address:  |                  |  |
| Assessor's Parcel Number (APN):                                 |                  |  |
| Applicant Name:   |                  |  |
| Applicant Phone:  | Applicant email: |  |
| Applicant Address:  |                  |  |
| Property Owner Name <i>(leave blank if same as applicant)</i> : |                  |  |
| Property Owner Address:   |                  |  |

Property Owner phone & e-mail:

cc in correspondence?  Y  N

**Property Characteristics**

**Single Family**  **Multi Family**

**Type of Accessory Dwelling Unit**

**ADU**

**JADU**

I have read the ADU Checklist and understand and agree that owner occupancy of the JADU or the primary dwelling is required, unless the owner is a government agency, land trust, or housing organization.

**Proposed Unit**

New Attached \_\_\_\_\_ SF ADU  New Detached \_\_\_\_\_ SF ADU

Conversion of existing \_\_\_\_\_ SF habitable space to  ADU/  JADU

Conversion of existing \_\_\_\_\_ SF habitable space with addition of \_\_\_\_\_ SF to ADU

2<sup>nd</sup> story addition within allowable building envelope of \_\_\_\_\_ SF to ADU

Conversion of existing \_\_\_\_\_ SF Garage to  ADU/  JADU

Conversion of existing \_\_\_\_\_ SF Garage with an addition of \_\_\_\_\_ SF to ADU

Proposed total ADU Size: \_\_\_\_\_ SF Existing dwelling size: \_\_\_\_\_ SF

**Parking**

Are on-site parking accommodations proposed?  Yes  No

If no, select the reason(s):

No additional parking is required for a JADU

ADU is located within one-half mile of public transit, including transit stations and bus stations. Measurement is real walking distance and is not measured "as the crow flies" from the project site.

**PROPERTY OWNER CERTIFICATION**

I CERTIFY THAT I AM THE LEGAL PROPERTY OWNER OF THE ABOVE LISTED PROPERTY AND THAT THE INFORMATION CONTAINED IN THE ACCESSORY DWELLING UNIT APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE

Date: \_\_\_\_\_ Owner Signature: \_\_\_\_\_

Print Name and Title: \_\_\_\_\_

I CERTIFY THAT I AM THE LEGAL REPRESENTATIVE OF THE PROPTERY OWNER AND THAT THE INFORMATION CONTAINED IN THE ACCESSORY DWELLING UNIT APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE

Date: \_\_\_\_\_ Applicant Signature: \_\_\_\_\_

Print Name and Title: \_\_\_\_\_

**STAFF USE ONLY**

|                |              |       |             |
|----------------|--------------|-------|-------------|
| Date Received: | Received by: | Fees: | Receipt No: |
|----------------|--------------|-------|-------------|



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# RESIDENTIAL ADU Handout #03A

The information in this handout provides general guidelines for the City of Covina Residential ADU (Accessory Dwelling Unit) Conversion/Alteration, Addition, or New permitting process. To obtain complete information for your project, please contact our friendly staff in person or over the phone at

**Planning (626) 384-5450 and/or Building and Safety (626) 384-5460, during business hours  
(Monday through Thursday from 7:00 a.m. to 6:00 p.m.).**

## What is required if I would like to build an ADU to my residence?

**As each project is unique and requirements can vary per project**, we recommend you first visit the City of Covina Planning Department counter to discuss your particular project. Your project must meet the planning and zoning requirements for accessory dwelling units, as required by state and local law. For every residential addition in the City of Covina, full sets of construction documents are required to be submitted, reviewed, and approved by various city departments before building permit issuance. The City of Covina highly recommends using the services of registered licensed professionals to design and provide all necessary documentation for the submittal and review process.

### ZONING STANDARDS- PLANNING

Contact Planning regarding applicable development standards including, but not limited to, setbacks, building height, lot coverage, unit size, etc. \* **A covenant will be required prior to permit issuance and approval** \*  
**\*Developmental impact fees will apply prior to occupancy**

### SEPARATE (ADDITIONAL) Address for the ADU - (application required)

- A new address assignment for the ADU is required PRIOR to plan check submittal.
- All plans should reference the new address for the ADU.
- A new address is required for separate mailing by the United States Postal Service.
- A new address is required for separate gas, water and/or electric utility meters. Southern California Gas and Southern California Edison WILL NOT set an additional meter for an existing billing address. Contact the respective utility agency for questions regarding new meters.
- Note: **All new and existing meters shall be ganged together at a single point of connection.**

SCE 1-800-655-4555

So Cal Gas 1-877-238-0092

### WATER AND SEWER SERVICES

- Additional connection fees and meter maybe required, it is important to determine if you will need to upsize your main water line or your main sewer line. The number of all plumbing fixtures that will be feeding into the existing water and sewer lines for your property may be impacted by the addition of bathrooms, kitchens, laundry rooms, etc. for both supply and waste lines.
- Sewer connection to existing main lines may not pass through or under the existing primary residence.

### ELECTRICAL SERVICES –

- Even If a separate meter is **not** proposed for the electrical utilities, a *Load Calculation* for the existing panel will be required when your plans are submitted in order to determine the ability of your existing service to provide sufficient power to the new ADU. In some cases, a separate meter may be required or the exiting service will need to be upgraded and or relocated.
- If a subpanel is proposed a single line diagram will be required upon submittal, showing the main panel size and location for the exiting dwelling and the subpanel size and location for the ADU along with the location of any new conduit connecting the main dwelling panel to the ADU subpanel. *Load Calculation Required min service is 100amps*

### GAS SERVICES -

- Even If a separate gas meter is **not** proposed, it is important that you determine the capability of your existing gas line to provide enough gas pressure to any additional gas outlets that may be a part of your ADU development such as gas stoves, gas water heaters, gas furnaces, gas dryers or gas wall heaters. In some cases, a separate meter may be required. Single line diagram and load calculations required.



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# RESIDENTIAL ADU Handout #03A

- It is recommended to you to consult with So California Gas prior to determining how the utilities will be set up at your property and any costs involved before you finalize your plans for submittal. They can provide you with cost information and availability of services.

The following construction documents are required: (See **Handout #04** for **minimum** submittal requirements)

- Planning Approvals-Approved **CUP/SPR incorporated in plan set, Covenants** included.
- Site Plan and Plot Plan
- Floor Plan (existing and proposed)
- Foundation Plan, Soils Report (new detached structures)
- Floor and Roof Framing Plans
- Elevations and Sections
- Differed Submittals: for Detached ADU or Conversion (Solar PV required)
- Structural and Construction Details, Cross Sections, Structural Calculations
- Plumbing, Mechanical, and Electrical Plans (*show locations of all laundry(required), water heaters, mech equipment, electrical meters, gas meters*)
- Title 24 Energy Calculations and Forms
- Green Building Forms (in plans)
- Fire Sprinklers required if primary unit has sprinklers.

Plans must correctly identify and comply with current codes. Provide a statement on the title sheet of the plans indicating the project shall comply with the:

- **2022 California Residential Code (CRC)**
- **2022 California Mechanical Code (CMC)**
- **2022 California Plumbing Code (CPC)**
- **2022 California Electrical Code (CEC)**
- **2022 California Energy Code (CEnC)**
- **2022 California Building Code (CBC)**
- **2022 California Green Building Standards Code (CGBS)**
- **2022 California Fire Code (CFD)**
- **2020 Los Angeles County Fire Code (LACFD)**
- **City of Covina Municipal Code Regulations /Ordinances**

The construction plans must be legible and shall be drawn on 24" x 36" paper. Typically, plan scale is 1/8" for the Site Plan & Plot Plan, (one copy 8 1/2 x 11 required) and 1/4" scale for the Floor Plan, elevations, sections, details, etc. For a residential add/alt, submit four (4) complete sets of plans and two (2) sets of other construction documents, such as Structural Calculations and Soils Report,(when required). **Please note: Title 24 Energy package is always required;** Construction documents must be prepared by registered licensed professionals. However, for small residential additions, where the latest version of the City of Los Angeles Wood Frame Prescriptive Provision for one story residential construction only (Type V construction) can be utilized for design, the plans do not require preparation by registered licensed professionals. **Wood Frame Prescriptive Provision for one story residential construction only, please (see Handout #19)**

## Are building inspections required?

Yes. After building permits are issued and construction has begun, the contractor or owner/builder is required to schedule building inspections through all phases of the construction project. This is to insure code compliance and good workmanship.

## Who should I contact with questions?

If you need further assistance, please contact our Planning Department [planning@covinaca.gov](mailto:planning@covinaca.gov) or our Building and Safety Department at [building@covinaca.gov](mailto:building@covinaca.gov)



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# Residential Submittal Checklist

## Requirement(s) Handout #04

The following provides guidance to the applicant by outlining the minimum requirements for plan submittal for residential projects and will minimize the processing time period. When the minimum required documentation and plan information is incorporated into the project plans as indicated below, the submittal review process can be completed and the project will be able to proceed to the formal plan review process by the applicable departments/divisions.

**Please Note: hand-written information will not be accepted**

### **DOCUMENTATION**

- PERMIT APPLICATION:** A review and an "OK to submit" by the Planning Division is required prior to Building Division submittal. Your application form must include all proposed work, valuation of job, labor and materials for demolition, engineering, site improvements, etc. and is subject to verification and adjustment during plan review. (*one copy of site plan or plot plan 8 ½ x 11 required*)
- PLANS:** Four (4) complete sets of plans, printed on 24" X 36" sheets. Plans must follow standard drafting conventions and be complete. Typically, plan scale is 1/8" for site plan & plot plan. 1/4" scale for floor plan, elevations, sections, etc.
- GRADING PLANS:** Four (4) copies of grading plans will be required for **NEW** structures. (including detached ADU or other structures. (Separate Permit Required)
- SOILS REPORT:** Two (2) copies if required. (required for **NEW** structures)
- SITE SURVEY:** A site survey is required for projects without clearly established and verifiable property boundaries, prepared by a licensed Land Surveyor or Registered Civil Engineer (Cannot measure boundaries from the fence).
- STRUCTURAL CALCULATIONS:** Two (2) copies of the supporting calculations, wet stamped and signed, unless waived by the Building Official.
- TITLE 24 ENERGY ANALYSIS:** Two (2) sets of 8 ½ x 11" completed energy calculations is required for submittal. The CF-1R and MF-1R forms must be made part of plans. T-24 is required when there are changes to the envelope, mechanical systems or when 50% or more of the lighting is added or changed. ref Green Building and Energy Efficiency Handout #21)

### **PLAN INFORMATION**

Residential plans may be produced (drawn) by a licensed Architect or Engineer, the Property Owner/Builder, Design Consultant, licensed Contractor or other qualified person. Plans that are not legible may be rejected prior to plan review. All plans shall be signed by the person(s) preparing the plan.

Current California law regarding Owner/Builder permits requires the property be the principle residence of the owner. Second homes and rental property do not qualify for Owner/Builder permits.

The plan(s), at a minimum, shall include the following information and details:

*\*Please note, not all submittals will require all of the following elements on a complete plan. Each project submittal will be determined on an individual basis.*

- A complete "**Project Description**" and "**Scope of Work**" must be on the cover sheet of the plans. The plan description must match the Application description. The plan description must match the application description and must include breakdown of SQ. footage (example: new, remodeled, garage, porch, etc.)
- Deferred Submittal items shall be clearly noted on the cover sheet and will be required to be submitted, approved and permitted prior to the framing inspection. Life safety items are not approved for deferred submittal.

**Building Data Legend** must be provided on the title sheet. Include the following information for the building proposed:

- Project address.
- Owner's name and address.
- Designer / Architect / Engineer of Record contact information.
- Name, address and telephone number of person who prepared the plans.
- The Legal description (A.P.N.).
- Occupancy group.
- Type of Construction.
- Floor Area calculations, including existing and new areas.
- Site area and % of coverage.
- Note if a fire sprinkler system is installed.

Provide with each set of plans\*:

- Cover sheet with Vicinity Plan and drawing index.
- Conditions of Approval **CUP or SPR** (inserted behind the cover sheet).
- Site Plan/Plot plan. (*one copy 8 ½ x 11 with Building-Project Data*)
- Existing Plans and Elevations
- Demolition Plan
- Roof Plan/Floor Plan.
- Construction Section(s).
- Foundation Plan.
- Floor Framing / Roof Framing plan.
- Elevations of all effected sides.
- Architectural and Structural Details.
- Mechanical, Electrical, Plumbing plan(s).
- Fire Sprinkler Drawings. (New Construction) LA COUNTY FIRE

Plan shall include an NPDES note on the site plan: ***"The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system."***

Plan shall include a Construction Hours note on cover page: ***"Construction or repair work, or use of Construction type equipment or device is limited to the hours of 7:00 a.m. - 8:00 p.m. Monday through Saturday. No Construction Type Work at any time on Sunday or on any Public Holiday"***

Plan must correctly identify the current codes. Provide a statement on the title sheet of the plans that this project shall comply with the local amendments:

2022 California Building Code (CBC)  
2022 California Residential Code (CRC)  
2022 California Administrative Code (CAC)  
2022 California Mechanical Code (CMC)  
2022 California Plumbing Code (CPC)  
2022 California Electrical Code (CEC)

2020 L.A. County Fire Code  
2022 California Green Building Standards Code (CGBS)-(include completed forms)  
2022 California Energy Efficiency Code(CEEC)  
2022 California Fire Code (CFC)  
City of Covina Municipal Code

If the project includes exterior work, the plan shall delineate all projecting elements, and show distance(s) to the property line(s) or adjacent structures.

Indicate if the existing building is protected by an automatic sprinkler system. Projects that require a new Fire Sprinkler System to be installed shall have the cover sheet notated "FIRE SPRINKLERS REQUIRED"



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- Show the proposed floor plan that includes the existing walls to remain, demolished walls, unless a detailed demolition plan is included, and the new walls. Include a wall legend for the existing walls to remain, walls to be demolished and new walls shall be provided. Existing walls with structural upgrades affecting the foundation or the lateral support (shear) are considered new walls. Existing walls with the drywall removed are considered part of the area of renovation.
- Mechanical, Plumbing and Electrical details may be included on the floor plan or a separate utility plan sheet for review. While not requiring complete single-line drawings, the plan shall include detailing the following: (ref Green Building and Energy Efficiency Handout #21)
  - Locations of heating, cooling and ventilating equipment.
  - Mechanical equipment schedule identifying the equipment manufacturer's name, model number, capacity, etc.
  - Kitchen ventilation system (range hood) complying with the 2022 Title 24 and ASHRA 62.2 standards. Aluminum Flex Duct is not allowed
  - Bathroom Ventilation complying with the 2022 Title 24 and ASHRA 62.2 standards.
  - Whole house ventilation, required for projects 1,000 sq. ft. or more.
  - Location of the plumbing fixtures including the water heater, laundry (washer/dryer)
  - Electrical panel size, location and schedules and load schedules if required.
  - Plumbing waste diagrams and sizing.
  - Gas meter location-Gas calculations and single pipe sizing diagrams
  - Domestic water (main) meter location- size of service and fixture counts
  - Show the location of all receptacles, switches and lights, and use a legend to identify types.
  - Smoke and Carbon Monoxide Alarms are required and shall be notated on the plan.
  - Detail on the cover sheet, any special conditions or requirement notated in the energy analysis. (i.e.; HERS testing, Cool Roof, etc.)
  - On site plan show location(s) of existing and new waste containers, yard waste containers, and recycling containers are kept, placed or stored such that said containers are not visible from public streets.
- Additional information may be required, dependent on the specific scope of the project such as the Los Angeles County Sanitation District, or the South Coast Air Quality Management District (SCAQMD)
- SCHOOL DISTRICT FEE:** and **SANITATION DISTRICT FEE** When applicable, Obtain forms and clearances prior to permit issuance. All fees and clearances must be paid before a building construction permit is issued.



**CITY OF COVINA**

125 E College St.  
Covina, CA 91723-2199  
626-384-5460 [www.covinaca.gov](http://www.covinaca.gov)

**Permit Application Form**

DATE: \_\_\_\_\_

Email [permits@covinaca.gov](mailto:permits@covinaca.gov)

Single-Family Residential   
  Multi-Family Residential   
  Commercial   
  Industrial   
  Demolition

|  |                                   |
|--|-----------------------------------|
| <b>Site Address</b>                                | <b>APN#</b>                       |
| <b>Property Owner's Name</b>                       |                                   |
| Mailing address                                    |                                   |
| Phone #  | Email:                            |
| <b>Licensed Contractor</b>                         | <b>License Class &amp; Number</b> |
| Mailing Address                                    |                                   |
| Phone #  | Email:                            |
| <b>Applicant Contact (If different from above)</b> |                                   |
| Mailing Address                                    |                                   |
| Phone #  | Email:                            |
| <b>JOB VALUATION:</b>                              | <b>Description of Work:</b>       |
|  |                                   |
|  |                                   |

| Structures                  | Sq.Ft. | Reroofs                   | Squares | Qty | Signs                       | Sq.Ft. |
|-----------------------------|--------|---------------------------|---------|-----|-----------------------------|--------|
| <b>NEW</b>                  |        | Comp. Shingle             |         |     | Wall                        |        |
| <b>Addition</b>             |        | Light Weight Tile         |         |     | Monument                    |        |
| <b>Alter/Remodel</b>        |        | Cement Tile               |         |     | Pole                        |        |
| <b>Garage</b>               |        | Built-up                  |         |     | <b>Repairs</b>              |        |
| <b>Carport</b>              |        | Metal/Other               |         |     | Drywall/Insulation-(Ln Ft.) |        |
| <b>Tenant Improvement</b>   |        | Tear off?                 | Yes     | No  | Sandblast                   |        |
| <b>Demolition</b>           |        |                           |         |     | Stucco/Siding               |        |
| <b>Accessory Structures</b> |        | <b>Walls/Fences</b>       | Ln.Ft   |     | Stone Veneer                |        |
| <b>Guest Room/Rec Room</b>  |        | Masonry                   |         |     | Aluminum Siding             |        |
| <b>Cabana</b>               |        | Wood                      |         |     |                             |        |
| <b>Storage/Shed</b>         |        | Wrought Iron              |         |     | <b>Flatwork</b>             |        |
| <b>Reframe Roof</b>         |        | Pilasters w/ Wrought Iron |         |     | Driveway                    |        |
| <b>Other</b>                |        | Vinyl                     |         |     | Walkway                     |        |
| <b>Patios/Porches</b>       |        | Other/Temp                |         |     | Concrete Slab               |        |
| <b>Wood Cover</b>           |        | <b>Change-Outs</b>        | Qty     |     | <b>Pools</b>                |        |
| <b>Metal Cover</b>          |        | Window-Replacement        |         |     | Vinyl                       |        |
| <b>Enclosure</b>            |        | Doors                     |         |     | Gunite/ Replaster           |        |
| <b>Awnings</b>              |        | <b>Fireplaces</b>         |         |     | Fiberglass                  |        |
| <b>Canopies</b>             |        | Masonry                   |         |     | <b>Spas</b>                 | Qty    |
| <b>Decks</b>                |        | Prefab                    |         |     | Spa/Hot Tub                 |        |
| <b>Balconies</b>            |        | BBQ                       |         |     | Sauna                       |        |

**\*\*Turn page over for Electrical, Mechanical, and Plumbing Information\*\***





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# ADDRESS REQUEST

## IB-05

### NOTICE OF ADDRESS:

#### INTRODUCTION

Address assignments and requests are made by a property owner or project developer. The City of Covina requires a **\$395 administrative fee for each new address requested, or for a change to an existing address.**

There is **NO** refund once the request has been processed.

**\*PLOT/SITE PLAN REQUIRED reference HANDOUT #15 (one copy 8 1/2" x 11") See page 2**

PURPOSE OF REQUEST \_\_\_\_\_

Application/Permit # \_\_\_\_\_

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EXISTING ADDRESS \_\_\_\_\_

EXISTING PARCEL NUMBER \_\_\_\_\_

NAME OF REQUESTOR (print) \_\_\_\_\_

CONTACT PHONE NUMBER \_\_\_\_\_ EMAIL \_\_\_\_\_

CHECK ONE:             OWNER             DEVELOPER

*I am authorized to submit this request as noted above:*

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

| FOR CITY USE ONLY    |        |      |
|----------------------|--------|------|
| City Map:            | Tract: | Lot: |
| New Address:         |        |      |
| Department Approval: |        |      |

**NOTE: Notification must be made with-in 10 business days off approval to all entities listed below**

Property Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**PROJECT: BUILDING DATA**

Number of units \_\_\_\_\_

Application/Permit # \_\_\_\_\_

# Plot Plan

Date: \_\_\_\_\_ Address: \_\_\_\_\_

SQUARE FOOTAGE: \_\_\_\_\_

LOT COVERAGE: \_\_\_\_\_

• EXISTING: \_\_\_\_\_ ADDED: \_\_\_\_\_

• NUMBER OF BEDROOMS: \_\_\_\_\_

• NUMBER BATHROOMS: \_\_\_\_\_

I HEREBY STATE THAT THIS PLOT PLAN AND THE DIMENSION SHOWN ARE CORRECT:

SIGNATURE \_\_\_\_\_ ADDRESS \_\_\_\_\_



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Application/Permit # BLD22-34

# Plot Plan HANDOUT #15

Date: 7/4/1976 Address: 123 A St.

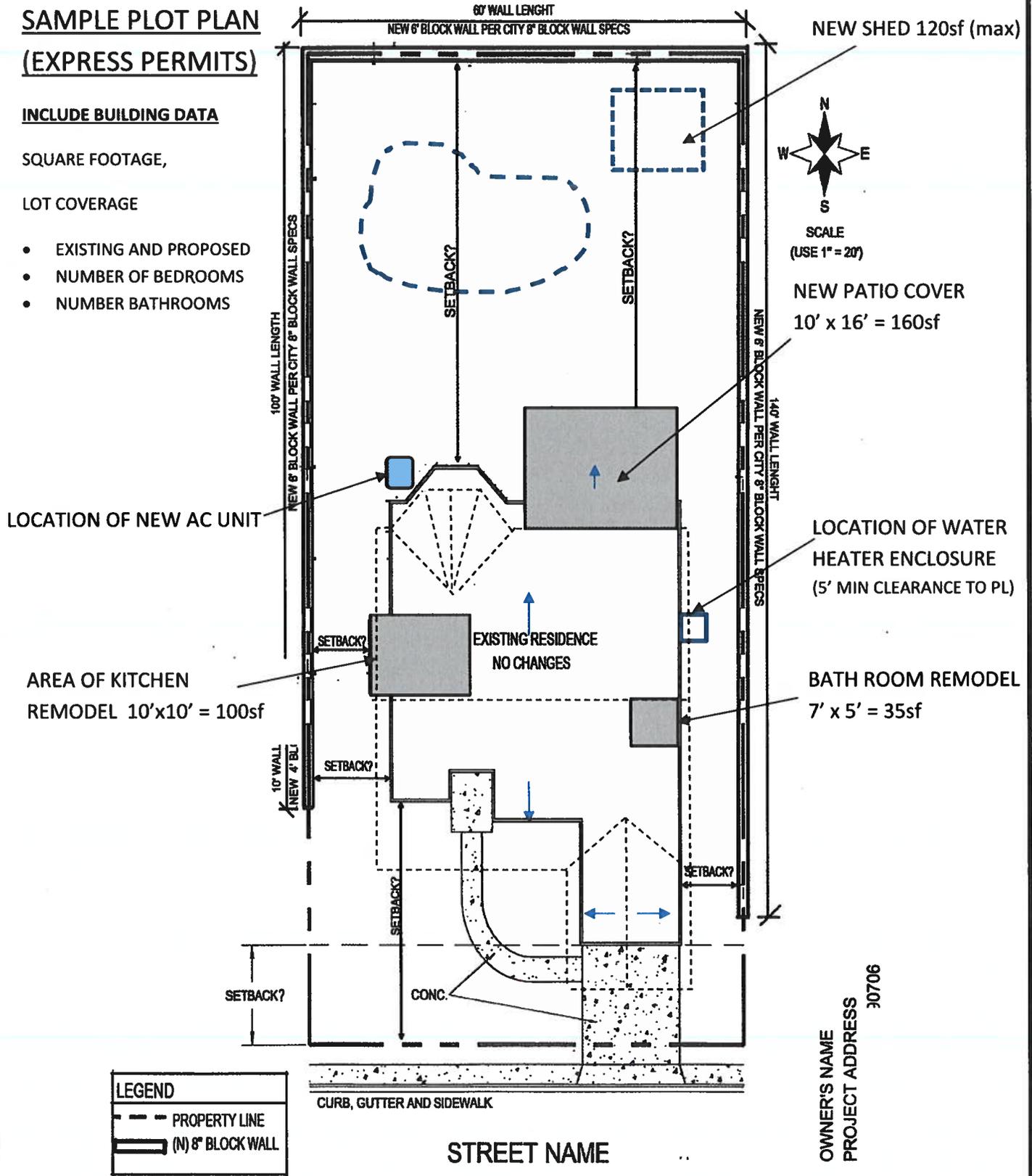
## SAMPLE PLOT PLAN (EXPRESS PERMITS)

### INCLUDE BUILDING DATA

SQUARE FOOTAGE,

LOT COVERAGE

- EXISTING AND PROPOSED
- NUMBER OF BEDROOMS
- NUMBER BATHROOMS



| LEGEND |                   |
|--------|-------------------|
|        | PROPERTY LINE     |
|        | (N) 8" BLOCK WALL |

STREET NAME ..

OWNER'S NAME  
PROJECT ADDRESS 30706